

PROJECT NUMBER: Project Number PROJECT NAME: E.P.H.A. OFFICE RENOVATION
SHEET NUMBER L-101 - SITE PLAN
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CALL
BEFORE
YOU DIG!

BEFORE ANY EXCAVATION WORK BEGINS OR ANY WORK BEGINS
WITHIN TEN(10') FT. OF OVERHEAD POWER LINES OF 750 VOLTS OR
MORE, NOTIFICATION MUST BE MADE TO THE UTILITIES PROTECTION
CENTER (UPC) AT TELEPHONE NUMBER 811 PER O.C.G.A. § 25-9-1 (2007)

PROJECT SCOPE

CONSTRUCT NEW BUILDING ADDITION AND NEW DECK TO BE
ADDED TO EXISTING BUILDING AS SHOWN

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF
FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE
FOR EFFECTIVE EROSION CONTROL, ADDITIONAL MEASURES SHALL BE
ADDED TO TREAT THE SEDIMENT SOURCE.

REVISION DESCRIPTIONS

SHEETS REVISED

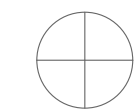
This site plan review is limited in scope to site preparation for construction. The
egress components have not been reviewed. All building(s), structure(s), egress
components, including ramps and stairs must be submitted separately to the fire
marshal's office for review and approval prior to construction. Independent
building permits are required in addition to the Land Disturbance Permit.
The person identified below is designated at the design professional responsible
for all means of egress components outside of the building.

Name ROBERT SKROBOT Phone (404) 226-6795

CURRENT OWNER/DEVELOPER CONTACT:
EAST POINT HOUSING AUTHORITY

ENGINEER CONTACT:
ROBERT SKROBOT, P.E.
RASK CIVIL ENGINEERING, PC
409 ROSE LANE
WOODSTOCK, GA 30188
PH: 404-226-6795
EMAIL: robert@raskce.com

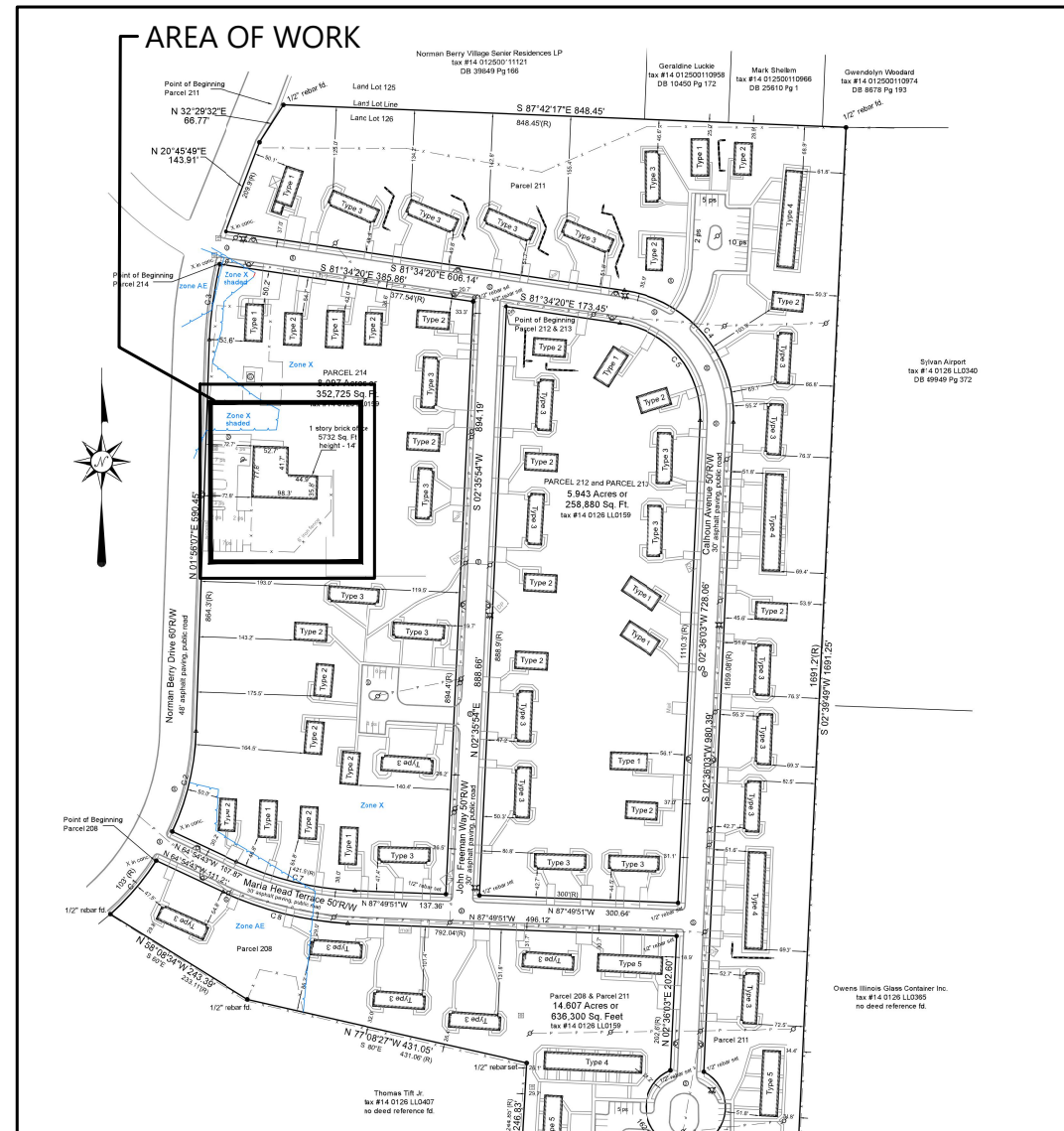
JDS _____ Project Number _____
Drawn By _____ Project No. _____
RPC _____ TBD _____
Approved By _____ Date _____



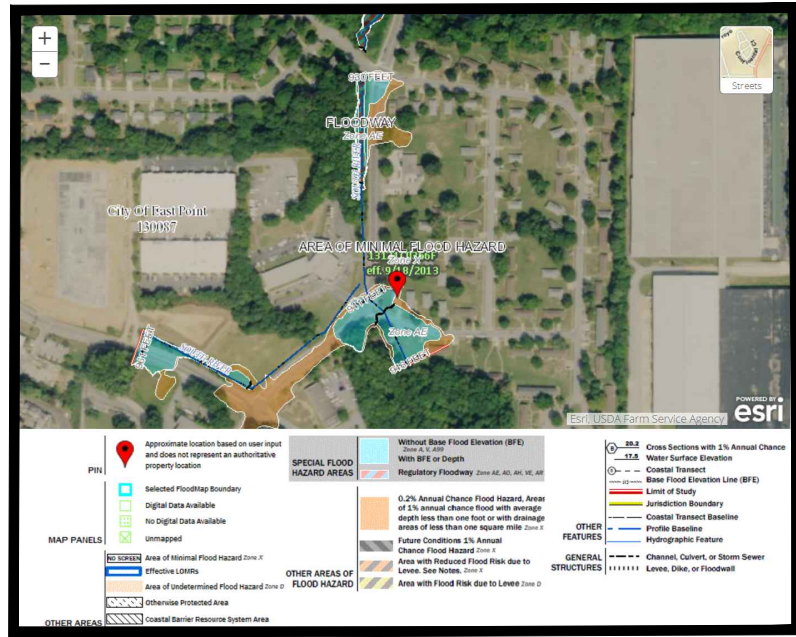
COVER

C-0

Drawing No.



VACINITY MAP



FEMA FLOOD PANEL MAP
13121co366f 9/08/2013
1"=2000'

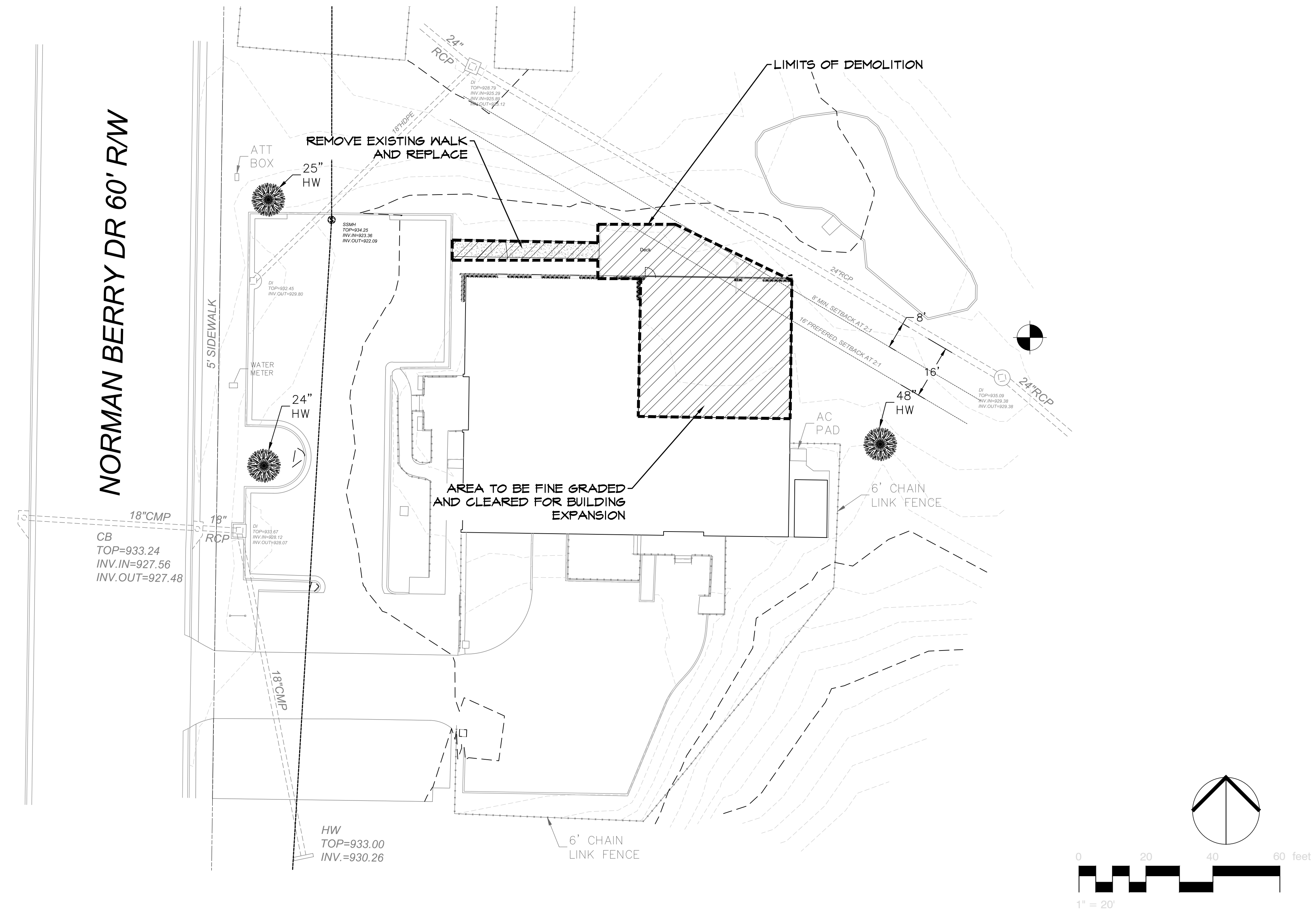
GENERAL NOTES:

- TOTAL SITE AREA = 28.647 ACRES
 - IMPERVIOUS AREA CALCULATIONS:
 - PROPOSED IMPERVIOUS AREA: 0.06 ACRES
 - PROPOSED IMPERVIOUS PERCENTAGE FOR TOTAL SITE: .02 %
 - PROPOSED LAND DISTURBANCE: .06 ACRES
 - PROPOSED USE: EXPANSION TO MULTIFAMILY CLUBHOUSE
 - ZONING: R-3
 - PARKING:
 - REQUIRED: 12 SPACES
 - PROPOSED: 18 SPACES ALREADY EXISTING - NO CHANGE
 - ASBUILT AND BOUNDARY SURVEY PROVIDED BY LANDO LP.
SURVEYING DATED 1-12-16
 - A PORTION OF THIS SITE SITS WITHIN A FLOOD PLAIN - SEE FEMA MAP.
 - ANY REVISION TO THE PLANS AFTER THE INITIAL SUBMITTAL, OTHER THAN THE
RESPONSE TO THE PLAN REVIEW COMMENTS, WILL BE INDICATED ON
REVISIONS AND SUBMITTED WITH A WRITTEN EXPLANATION OF THE
REVISIONS AND THE REASONS THEREFORE.
 - ANY VARIATION FROM THE PERMITTED PLANS, CHANGES IN DESIGN RESULTING
FROM FIELD CONDITIONS, OR SUBSTITUTIONS OF CONSTRUCTION MATERIALS
ARE TO BE REVIEWED AND APPROVED BY THE RESPONSIBLE ENGINEER.
 - 72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER
BEFORE ANY PLANNED DIGGING (WWW.GEORGIA811.COM)
 - PROVIDE A RECORDED STORMWATER DETENTION FACILITY INSPECTION AND
MAINTENANCE AGREEMENT WHICH MUST INCLUDE TWO EXHIBITS AS WELL AS
THE POST CONSTRUCTION INSPECTION, OPERATION AND MAINTENANCE PLAN.
 - COMPACTION OF ALL FILL MATERIAL BETWEEN THE FRONT AND REAR BUILDING
LINES TO BE 95% STANDARD PROCTOR MUST BE CERTIFIED BY GEORGIA
REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION
OF CURB. THIS CERTIFICATION WILL BE SUBMITTED TO THE CHIEF OF
DEVELOPMENT INSPECTIONS. LOTS WITH 2' OF FILL OR GREATER, AS
DELINEATED ON THE CONSTRUCTION PLANS, WILL REQUIRE A COMPACTION
CERTIFICATIONS PRIOR TO ISSUANCE OF BUILDING PERMITS. THE ENGINEER
WILL ALSO PROVIDE A LETTER LISTING THOSE LOTS THAT REQUIRE
COMPACTION CERTIFICATION. THOSE LOTS THAT REQUIRE COMPACTION
CERTIFICATION WILL BE INDICATED ON THE FINAL RECORDED PLAT.
 - THIS PROPERTY IS NOT LOCATED IN A DESIGNATE FLOOD AREA
PER THE FEMA PANEL 13121co36f
 - CITY OF EAST POINT LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE
AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY
ROAD OR STREET.
 - ALL CONSTRUCTION MUST CONFORM TO CITY STANDARDS AND
SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES
PRIOR TO CONSTRUCTION, CALL 811
 - THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATIONS AND LIASON WITH
UTILITY COMPANIES IN THE PROCESS OF LOCATING, RELOCATING AND TIE IN
TO PUBLIC UTILITIES.
 - REFER TO ARCHITECTURE PLANS FOR ALL DIMENSION AND SPECIFICATIONS FOR
BUILDING STRUCTURES.
 - CUT AND FILL SLOPES NOT TO EXCEED 2:1
 - CONTRACTOR TO REMOVE ANY DIRT FROM THE TIRES OF ANY CONSTRUCTION
VEHICLE PRIOR TO LEAVING SITE.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL
EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESARRY
BY ON SITE INSPECTIONS.
 - EROSION CONTROL MEASURES ARE TO BE COMPLETE PRIOR TO ANY OTHER
CONSTRUCTION ON SITE AND MAINTAIN UNTIL PERMANENT GROUND COVER IS
ESTABLISHED.
 - ALL CONSTRUCTION SHALL COMPLY WITH THE SPECIFICATIONS AND
PROCEDURES DETAILED IN THE CURRENT DEVELOPMENT REGULATIONS OF
CITY OF EAST POINT AND THE MANUAL FOR EROSION AND SEDIMENT
CONTROL IN GA.
 - TWO ROWS OF GA. DOT, EROSION TYPE C SILT FENCE SHALL BE INSTALLED
ADJACENT TO STATE WATERS AND WILL PROTECT STATE WATERS FROM ANY
LAND DISSTURBANCE ACTIVITY.
 - IRRIGATION SPRINKLERS ARE NOT ALLOWED IN THE ROAD ROW.
 - APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF EAST
POINT OF ANY LAND DISTURBANCE ACTIVITIES WITHIN WETLAND AREAS. IT IS
THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE
APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND THAT
IS DISTURBED.
 - ALL DRAINAGE STRUCTURES SHALL BE BUILT ACCORDING TO GA. DOT.
STANDARDS.
 - ANY FILL MATERIAL SUPPORTING STRUCTURAL LOADS SHALL BE ENGINEERED
WITH PROPER DOCUMENTATION INCLUDING A GEORGIA REGISTERED PE
STAMP. SUBMIT THIS DOCUMENTATION TO THE CITY BUILDING DEPT. PRIOR TO
FOUNDATION INSPECTION.

SHEET INDEX

SHEET #	TITLE
C0.0	COVER
C 1	EXISTING CONDITIONS
C 2	DEMOLITION PLAN
C 3	SITE PLAN
C 4	GRADING AND EROSION CONTROL

PROJECT NARRATIVE: ADD NEW BUILDING ADDITION AND NEW
CONCRETE DECK TO EXISTING BUILDING



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUANCES		
No.	Drawing Issue Description	Date

FINAL CONSTRUCTION
DOCUMENTS

E.P.H.A. OFFICE RENOVATION

3056 Norman Berry Dr, East Point, GA 30344

DEMOLITION
PLAN

JDS	Project Number
Drawn By	Project No.
Approver	TBD
Approved By	Date

C-2

Drawing No.

PROJECT NUMBER: Project Number PROJECT NAME: E.P.H.A. OFFICE RENOVATION
SHEET NUMBER: L-101 - SITE PLAN
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CENTER (UPC) AT TELEPHONE NUMBER 811 PER O.C.G.A. § 25-9-1 (2007)

DEMOLITION NOTES

- 1) REMOVE NOTED MATERIAL AND DISPOSE OF THEM IN THE PROPER RECYCLING FACILITY OR LANDFILL TO BE BURIED
- 2) NO DISTURBANCE SHALL TAKE PLACE UNTIL THE INITIAL EROSION CONTROL PRACTICES HAVE BEEN COMPLETED

SITE DESCRIPTION:

TOTAL ACRES = 28.647
ZONING = R-3

SETBACKS:
FRONT SETBACK = 35'
SIDE SETBACK = 6'
REAR SETBACK = 25'

DISTURBED AREA = 2650 SF; (0.06 ACRES)

TOTAL SF OF OF NEW IMPERVIOUS = 2250 SF

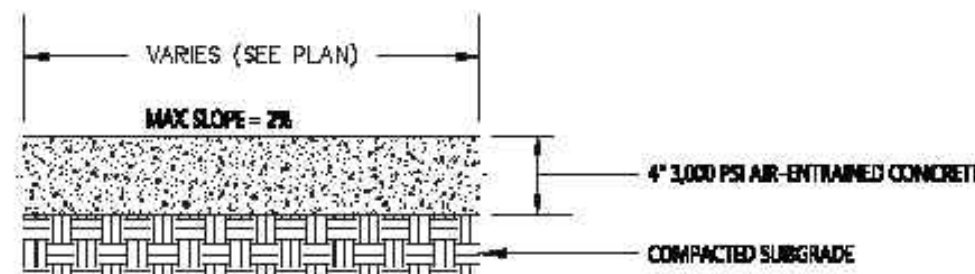
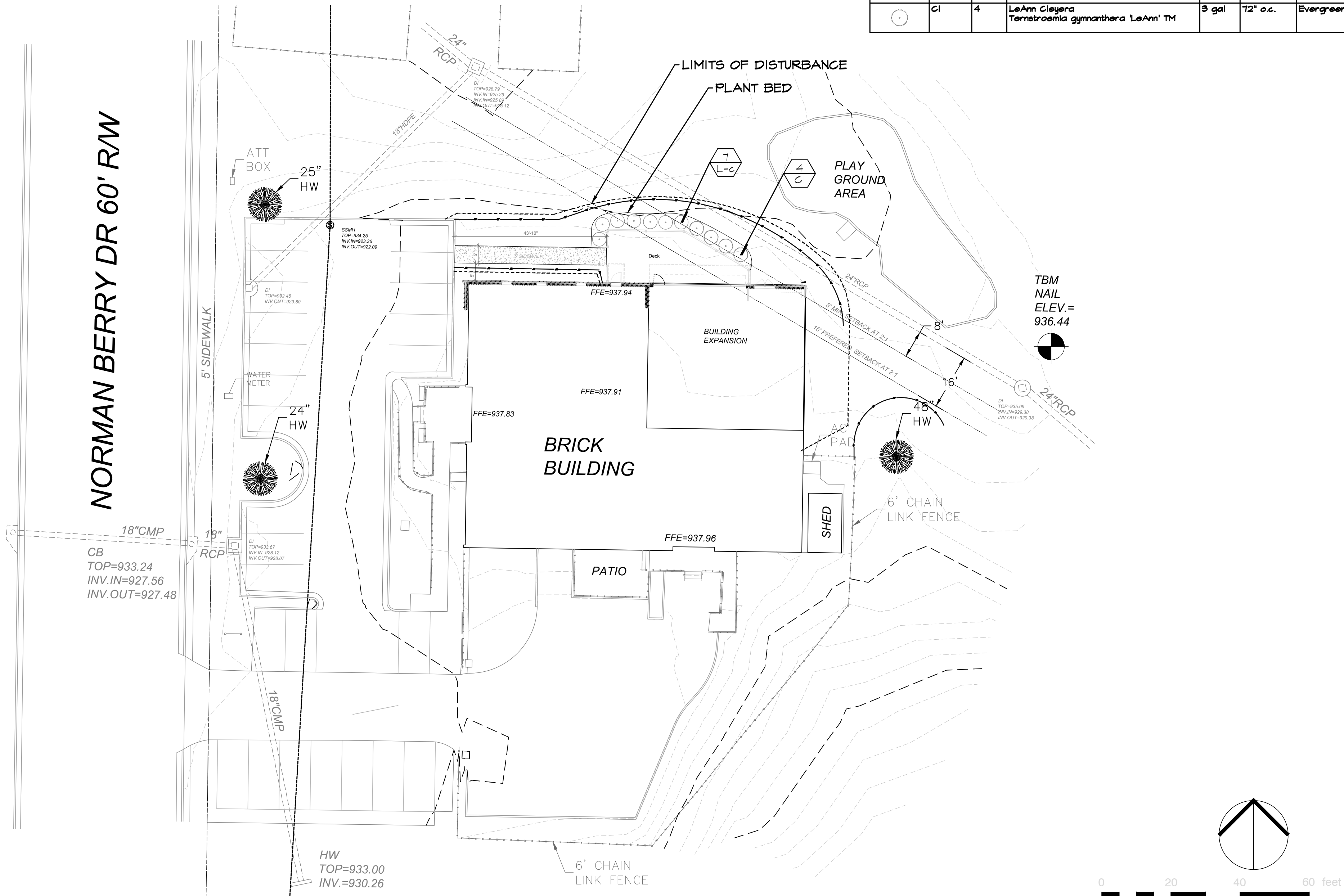
MINIMUM PARKING = 1 PER 500 SF (12)
1916 SQ FT ADDED, 4 NEEDED
18 AT BUILDING EXISTING

PROJOECT NARRATIVE: ADD NEW BUILDING ADDITION AND NEW
CONCRETE DECK TO EXISTING BUILDING

PLANT SCHEDULE						
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING	REMARKS
•	L-C	7	Ever Red Fringe Flower <i>Loropetalum chinense 'Chang Nian Hong'</i>	5 gal	48" o.c.	Evergreen
•	CI	4	LeAnn Clayera <i>Ternstroemia gymnanthera 'LeAnn' TM</i>	5 gal	72" o.c.	Evergreen

GENERAL SITE NOTES

1. SEE ARCHITECTURE AND STRUCTURAL DETAILS FOR BUILDING SUPPORT SYSTEM ON THE CORNER CLOSEST TO ANGLE OF REPOSE NEAR EXISTING PIPE.
2. EXISTING UTILITIES TO BE EXTENDED FROM EXISTING BUILDING INTO THE NEW BUILDING ADDITION, SEE ARCHITECTURAL PLANS.
3. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. SIDEWALK FROM THE PARKING LOT TO THE DECK DOES NOT REQUIRE ADA ACCESSIBILITY. ADA ACCESSIBILITY FOR ENTRY IS PLANNED TO REMAIN FROM THE FRONT OF THE BUILDING.
5. THE CONTRACTOR SHALL REMOVE ALL DEBRIS INCLUDING PAVEMENT, CONCRETE, AND UNSUITABLE MATERIAL FROM THE SITE. ALL AREAS UNDER EXISTING PAVEMENT SHALL BE SCARIFIED BEFORE PLACING STRUCTURAL FILL MATERIAL.
6. ALL PROPOSED CUT OF FILL SLOPES TO BE 2.5:1 OR FLATTER.
7. ANY EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
8. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IN PAVED AND NATURAL AREAS AND ENSURE POSITIVE DRAINAGE TO COLLECTION STRUCTURES.
9. ALL POSITIVE DRAINAGE SHALL SHED ACROSS SIDEWALKS AT NO GREATER THAN 2% SLOPE TO REACH INLETS.
10. CONTRACTOR TO FIELD VERIFY GRADES AND EXISTING CONDITIONS AND ALERT OWNERS IF VARIANCE CAUSING CHANGES IN CONSTRUCTION TO BE NEEDED.
11. ALL PROPOSED BUILDING ROOF DRAINS ARE TO BE TIE TO UNDERGROUND STORMWATER DRAINAGE SYSTEM SUCH THAT ALL PROPOSED BUILDING IMPERVIOUS AREA IS CAPTURED WITHIN THE DETENTION AND WATER QUALITY FACILITY.
12. NO CHANGES TO EXISTING THE PARKING LOT OR STORM DRAINS ARE PLANNED OR REQUIRED PER CODE.
13. ALL EROSION MEASURES TO BE IN PLACE UNTIL FINAL INSPECTION APPROVAL.

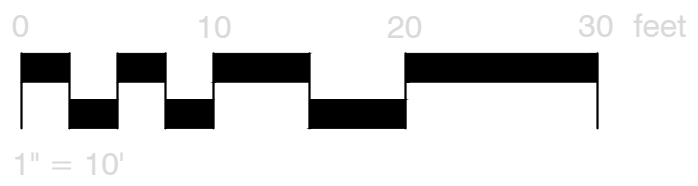
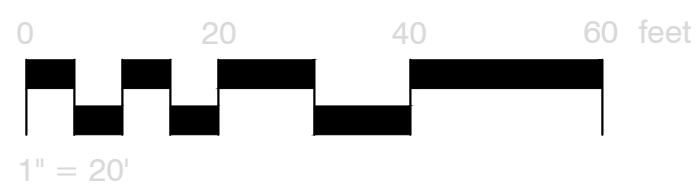
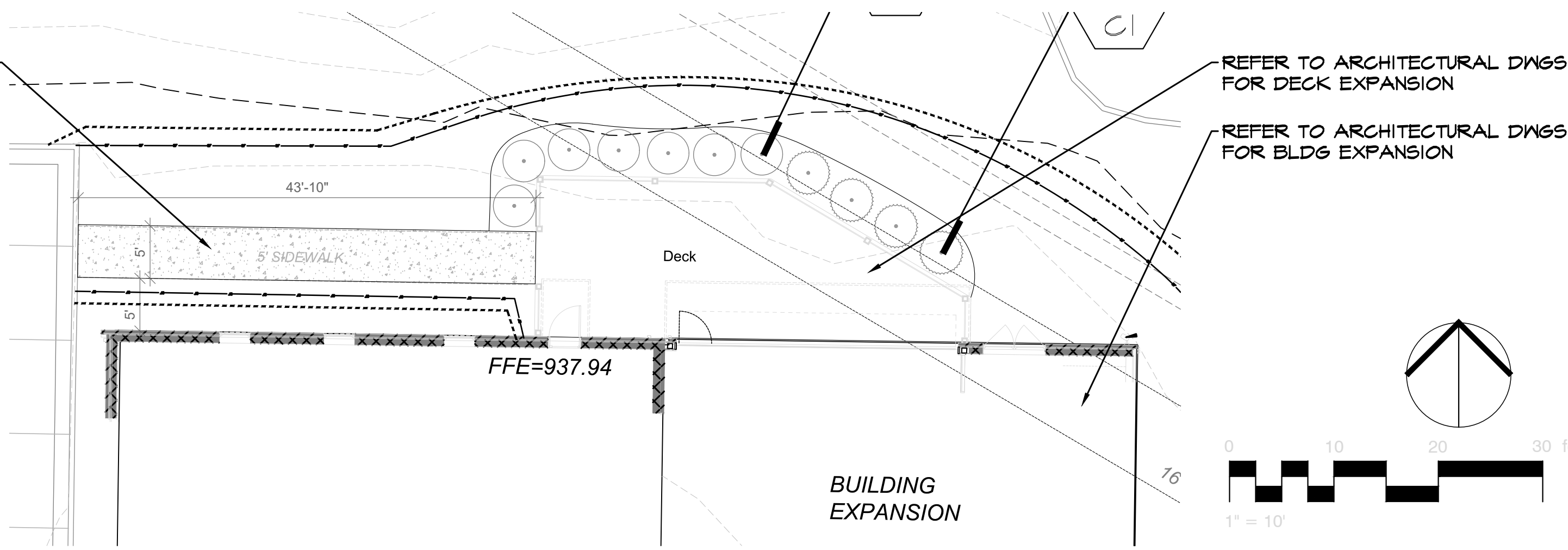


- NOTES:
1. CONSTRUCTION JOINTS SPACES SHALL BE EQUAL TO SIDEWALK WIDTH 1-1/2 INCHES DEEP.
 2. MASTIC EXPANSION JOINTS SHALL BE PROVIDED WHEREVER THE SIDEWALK ADJUTS EXISTING/PROPOSED PAVEMENT.
 3. ACCESSIBLE RAMPS, PER DOT SPECIFICATIONS, TO BE PROVIDED AT ALL LOCATIONS SHOWN ON PLANS.
 4. #4 AGGREGATE BASE COURSE COMPACTED TO 98% STANDARD PROCTOR TYPICAL IN AREAS WITH UNSUITABLE SUBGRADE.

CONCRETE SIDEWALK DETAIL

NOT TO SCALE

NEW CONCRETE SIDEWALK @ <5% RUNNING
SLOPE AND 2% CROSS SLOPE. TIE FLUSH
INTO DECK AND FLUSH INTO PARKING LOT



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3056 Norman Berry Dr, East Point, GA 30344

SITE PLAN

JDS	Project Number
Drawn By	Project No.
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Approved By	Date

ENGINEER CONTACT:

ROBERT SKROBOT, P.E.
RASK CIVIL ENGINEERING, PC
409 ROSE LANE
WOODSTOCK, GA 30188
PH: 404-226-6795
EMAIL: robert@raskce.com

C-3

Drawing No.



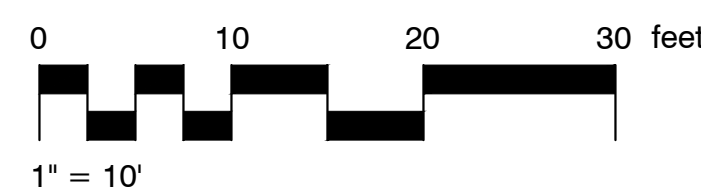
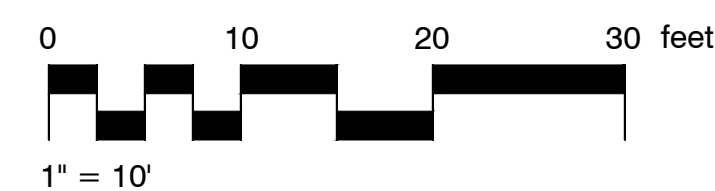
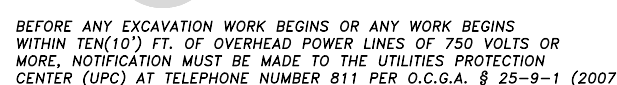
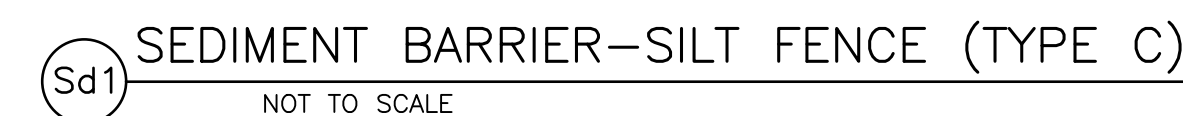
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1. ALL DRAINAGE STRUCTURES SHALL BE BUILT ACCORDING TO GEORGIA DEPARTMENT OF TRANSPORTATION (GOOT) STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE SPECIFIED WITHIN THE COBB COUNTY PIPE NOTES
2. SITE CONDITIONS BASED ON SURVEY BY OTHERS. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. IF ANY VARIATIONS ARE ENCOUNTERED NOTIFY THE ENGINEER IMMEDIATELY.
3. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. EARTHWORK SHALL BE TO THE LINES AND GRADES SHOWN. ALL STRUCTURAL FILL MATERIALS SHOULD BE FREE FROM ORGANIC MATERIALS AND DEBRIS. ALL MATERIALS, OF ANY TYPE, OR ROCK FRAGMENTS LARGER THAN FOUR (4) INCHES IN DIAMETER, SATISFACTORY FILL SOILS WILL GENERALLY COMPLY WITH THE USCS DESIGNATIONS OF GW, GP, GM, SW, SP, SC, CL AND/OR ML. OTHER MATERIALS SHOULD BE EVALUATED BY THE GEOTECHNICAL ENGINEER TO DETERMINE ITS SUITABILITY PRIOR TO USING. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AND WITHIN ±3% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR). ALL STRUCTURAL FILL IN THE UPPER 18" OF PAVEMENTS AND BUILDINGS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AND WITHIN ±2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR).
5. THE CONTRACTOR SHALL REMOVE ALL DEBRIS INCLUDING PAVEMENT, CONCRETE, AND UNSUITABLE MATERIAL FROM THE SITE. ALL AREAS UNDER EXISTING PAVEMENT SHALL BE SCARIFIED BEFORE PLACING STRUCTURAL FILL MATERIAL.
 - A. EXISTING OUTLET OF FILL SLOPES TO BE 2:5:1 OR FLATTER.
 - B. EXPOSED PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. ALL STORM SEWER MANHOLES LIDS AND DRAINAGE STRUCTURES SHALL BE 1/4" BELOW FINISHED PAVEMENT AND SHALL HAVE TRAFFIC RATED RING AND COVERS. LIDS SHALL BE LABELED "STORM SEWER".
7. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRAD.
8. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IN PAVED AND NATURAL AREAS AND ENSURE POSITIVE DRAINAGE TO COLLECTION STRUCTURES.
 - A. 12 INCH DIA. CULVERTS TO BE AT THE BOTTOM OF THE CURB UNLESS OTHERWISE STATED.
9. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. ALL PROPOSED BUILDING ROOF DRAINS ARE TO BE TIE TO UNDERGROUND STORMWATER DRAINAGE SYSTEM SUCH THAT ALL PROPOSED BUILDING IMPERVIOUS AREA IS CAPTURED WITHIN THE DETENTION AND WATER QUALITY FACILITY.
11. ANY DRIVE, ACCESS, SIDEWALK/SHOULDER CROSS-SLOPE IN THE R/W, IS TO MATCH THE STANDARD X' PER LF (2X PER ADA).
12. GRADE BENEATH TYPED TO BE DEPRESSED X' TO ALLOW FOR FLUSH INSTALLATION. (SEE SITE PLAN FOR UM/LIUMS)

Co	CONSTRUCTION EXIT
Sd1-S	SEDIMENT BARRIER TYPE C (SENSITIVE AREA)
Cd-S	CHECK DAM FILTER SOCK
Sd2-Bg	BLOCK AND GRAVEL DROP INLET PROTECTION
Sd2-P	CURB INLET PROTECTION
Sd4-C	TEMPORARY SEDIMENT TRAP (ROCK OUTLET)
Da3	DISTURBED AREA STABILIZATION (PERMANENT)
Da4	DISTURBED AREA STABILIZATION (SOD)

—SF— SILT FENCE
- - - LIMITS OF DISTURBANCE
—TP— TREE PROTECTION FENCE



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GRADING AND EROSION CONTROL PLAN

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C-4

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